

Chapter Eight—Land use

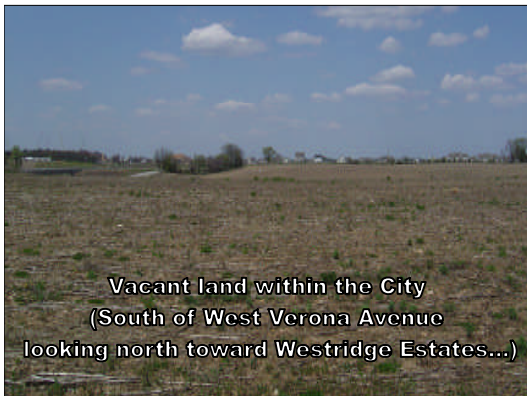


CITY OF VERONA COMPREHENSIVE PLAN, 2010-2030

Land Use

Land Use Goals and Objectives

Continue Traditional Land Use Patterns as the City grows



Vacant land within the City
(South of West Verona Avenue
looking north toward Westridge Estates...)

How will we best use the land as we grow?

Verona was one of the fastest growing cities in the State of Wisconsin during the last decade, and the city expects to see continued population growth due to our location near Madison's strong job market and the region's high quality of life. The City of Verona has traditionally accommodated population growth with new residential development on the city's perimeter as well as with in-fill and redevelopment projects in the downtown area. The city's historic density of residential development is about 4.5 housing units per acre, provided in a mix of single-family and multi-family housing. The City plans to continue providing a mix of hous-

ing options and densities to maintain the historic 'feel' of the City. Additionally, the City plans to continue historic development patterns, with most new housing provided on the 'growing edge of the city' as well as with continued in-fill and redevelopment in the downtown area.

Commercial development for retail and services will continue to be promoted in the downtown area as the city continues to promote the downtown as the commercial center of the community. New retail and service businesses will continue to be encouraged to locate on East and West Verona Avenue.

Major 'job centers' have traditionally been located in the city's industrial and office-park developments, which in turn have traditionally been located on the city's periphery. Examples include the city's industrial parks on South Nine Mound, Bruce Street, and Venture Court—as well as newer 'job centers' in Technology Park and on the Epic System's campus.

In the coming years—the City plans to encourage commercial and in-fill residential development in the city's center to strengthen the downtown while continuing the traditional pattern of residential and office/industrial development on the growing edge of the City's periphery.

Continue Traditional Land Use Patterns as the City Grows

- ENCOURAGE DOWNTOWN DEVELOPMENT AND REDEVELOPMENT
- DIRECT NEW RESIDENTIAL DEVELOPMENT TO THE 'GROWING EDGE' OF THE CITY
- DIRECT NEW NON-RETAIL COMMERCIAL DEVELOPMENT TO THE 'GROWING EDGE' OF THE CITY
- PROTECT AREAS OUTSIDE OF THE CITY FOR RURAL LAND-USES UNTIL SUCH AREAS CAN BE DEVELOPED WITH URBAN USES
- IMPROVE PEDESTRIAN FACILITIES

Prevent Land Use Conflicts

One of the most basic—and most important—duties of city government is to regulate land uses in a fashion that prevents conflicts between incompatible uses. Like most cities in America, Verona utilizes planning and zoning as the tools to prevent these land-use conflicts by separating residential development from commercial and industrial development. In some areas of the City, older residential development is adjacent to commercial development—such as along Verona Avenue. This arrangement can, and has, led to conflicts between residents and businesses. The city will attempt to prevent these situations in the future.

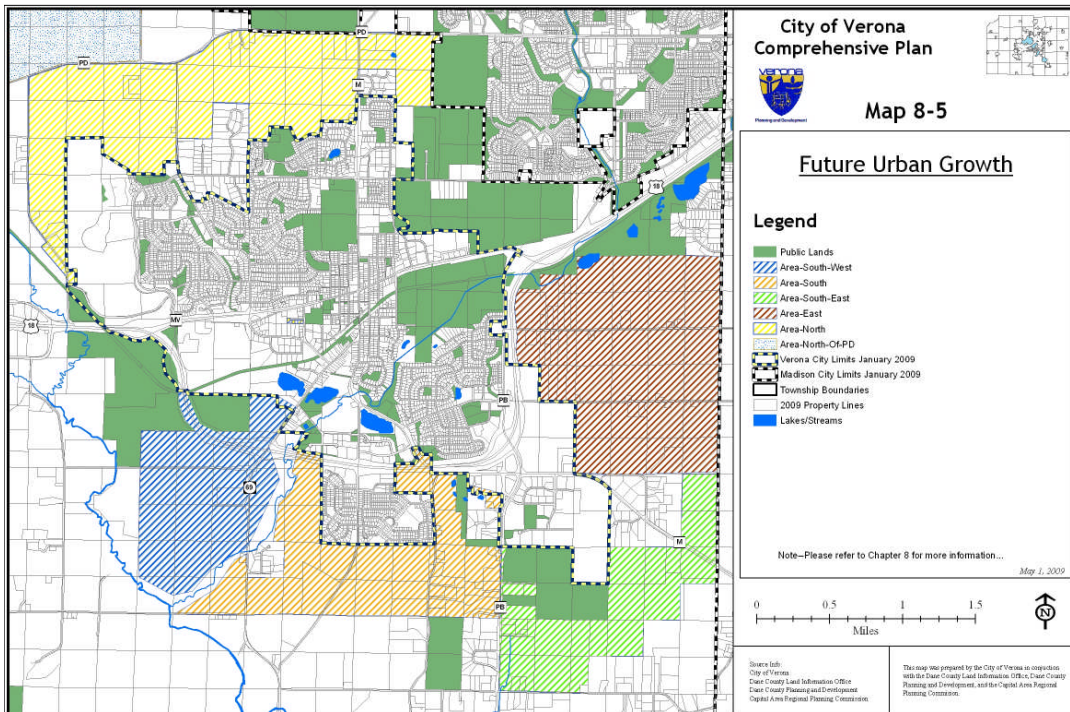
Another example of land-use conflicts exists within the City's extraterritorial area—or the rural area outside of the city. Conflicts between low-intensity residential development and rural land uses such as agriculture in this area have led to law-suits and acrimony between farmers and their non-farm neighbors. To prevent these conflicts in the future, the City intends to continue utilizing its extraterritorial authorities to prevent new non-agricultural development in rural areas.

Prevent Land Use Conflicts

- DIRECT URBAN DEVELOPMENT TO AREAS DESIGNATED FOR URBANIZATION
- USE ZONING TO PREVENT ADJACENT LAND USES THAT ARE INCOMPATIBLE

Land Use

Future Land Use Plans



As shown on the City's Future Urban Growth Map, the City plans to continue expansion of the City's urban area outward from the current city limits in a gradual manner. Growth areas to the north, east, southeast, south, and southwest all represent such gradual 'growth from the edges'. The Sugar River on the City's south and west sides will serve as a natural planning barrier for at least the next 20 to 30 years. The City has a strong track-record of promoting such growth in a planned and logical fashion and the City intends to continue this tradition as we grow.

Protecting the Environment

The City of Verona believes that the best way to protect the environment is to accommodate population growth on as little land as possible. To do this, the City of Verona plans to continue promoting more dense development that is served by municipal water and sewer. In instances where such dense development cannot be served by municipal services, the city will consider less dense forms of urban development—such as development on private wells and septic systems—where other city goals can be met—such as the goal to provide a diverse mix of housing options.

Planning for the Downtown

The downtown area presents many opportunities—and challenges—during the next 20 years. The City wishes to see the downtown continue to be a vibrant and healthy commercial center for the community. To accomplish this goal, the city plans to continue supporting redevelopment projects that replace older, obsolete buildings and uses with newer 'highest and best' uses. Accommodating new commercial development will require sufficient parking both on-street and off-street. And with new development and redevelopment projects come requirements to comply with new environmental protection regulations, which means storm water management facilities will need to be created in the downtown area. A final challenge the city faces for the downtown in the years to come is how to protect the residential areas in and around the down-

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Protect the Environment

- CONTINUE TO REQUIRE NEW DEVELOPMENT TO PROVIDE STORM-WATER MANAGEMENT AND OTHER ENVIRONMENTAL PROTECTION MEASURES



The City expends significant resources so land development does not harm the environment

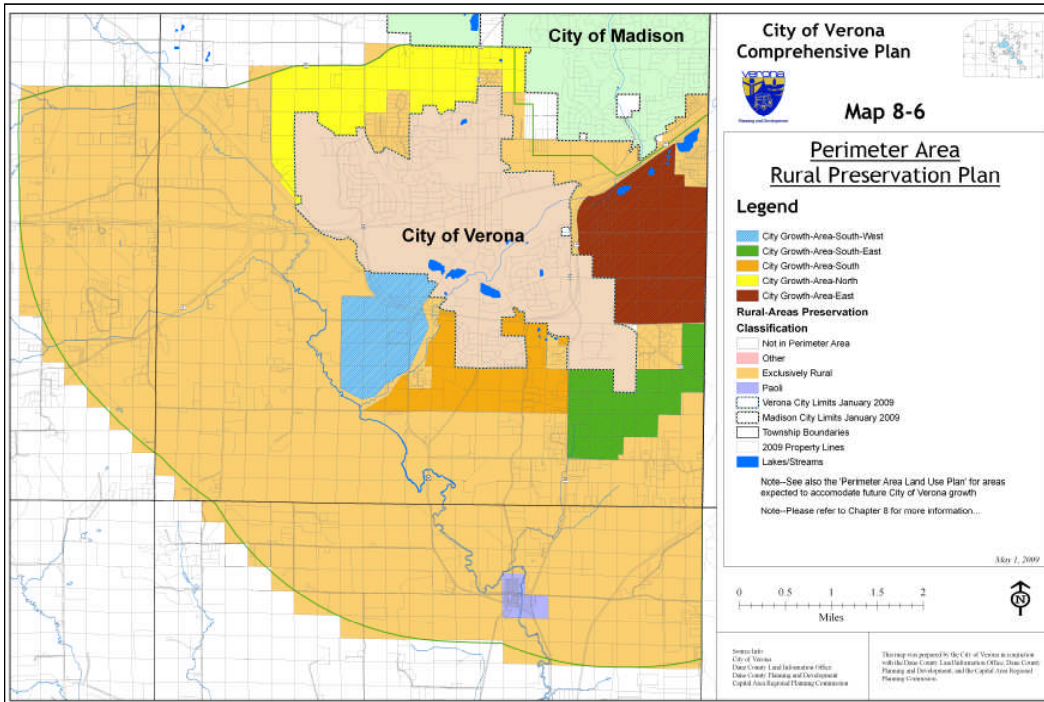


Create a vibrant and healthy urban downtown area

- IMPLEMENT THE 'DOWNTOWN PLAN'
- ENCOURAGE NEW DEVELOPMENT AND REDEVELOPMENT IN THE DOWNTOWN

Land Use

Protecting Rural Areas and Farmland from Development



Laws change.
People die.
The land remains.
—Abraham Lincoln

An important part of the City's plan is to direct urban development away from rural areas.

Survey Results

As part of the process to create this comprehensive plan, the City of Verona conducted 3 mailed surveys to all city residents. Responses to land-use related questions include:

- When asked "Should land-use conflicts between farming and new development in rural areas be prevented through limits on residential development in rural areas?" 75% stated "Yes, farming and rural land uses should be protected from new development in rural areas" while 25% responded "No, new housing and other development should be allowed in rural areas";
- 63% of survey respondents stated "Verona's downtown and Verona Avenue should be promoted as the city's 'commercial center' and new businesses should be discouraged outside of these areas", while 37% stated "New businesses should be encouraged on the outside edge of the city rather than downtown and along Verona Avenue";
- Regarding parking and traffic on North Main Street, 61% of survey respondents preferred "Remove on-street parking during rush-hour to ease traffic congestion, even if it makes North Main more like a highway", while 39% preferred "Continue to allow on-street parking to slow-down traffic, even if it creates congestion";
- When asked about downtown parking, 46% of survey respondents stated "Additional parking is needed and the city should help create additional parking areas", while 54% stated "There is sufficient parking in the downtown already";

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Agricultural Land Uses are an important part of the Verona Area economy



Land Use

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See the Complete
City of Verona
Comprehensive Plan at:

- Verona City Hall
- Verona Library
- On-line at:
www.ci.verona.wi.us
Under
'City Departments—
Planning & Development'

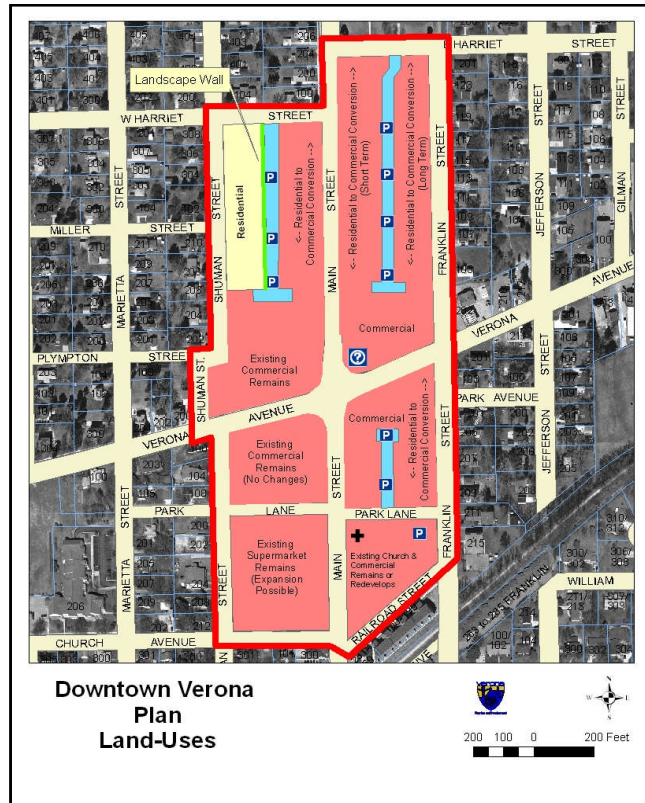
For More Information—
Contact
The City of Verona
Department of
Planning and Development
At 848-9941 or at
Bruce.sylvester@ci.verona.wi.us

Downtown Plan

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town. Details for how all of these goals and objectives will be met are not yet finalized, and the comprehensive plan recommends that planning for the downtown should continue with additional citizen-participation.

In addition to promoting existing and new commercial activity in the downtown, the city is planning for how to deal with increasing amounts of vehicle traffic at the intersection of Main Street and Verona Avenue, while at the same time making the downtown area pedestrian and bicycle-friendly. Please see the 'Transportation Chapter' (Chapter 3) for more information about plans for traffic and accommodating pedestrians and bicycles in the downtown in the years to come.



Survey Results

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- When asked if condominiums, townhouses, apartments, and similar higher-density housing in the downtown area should be 'encouraged' or 'discouraged', 51% chose "Discouraged" and 49% chose "Encouraged";
- When asked "Should city tax dollars be used to purchase lands along the Sugar River to prevent development along this river", 54% responded "Yes, it is worthwhile to use city tax dollars to keep development away from this river", while 46% responded "No, development should be allowed near the Sugar River as long as it complies with environmental regulations."



Downtown businesses are an important part of the Verona community

Relation to Other Chapters of the Comprehensive Plan

Land Use is closely intertwined with several other chapters of the comprehensive plan—most notably Housing (Chapter 2); Transportation (Chapter 3); Natural and Cultural Resources (Chapter 5); and Economic Development and Agriculture (Chapter 6). For more information on each of these chapters, please see the complete plan at Verona City Hall, the Verona Library, on-line at www.ci.verona.wi.us under 'Planning and Development', or on the accompanying disc.